



Location Plan  
( scale 1:1250@A4 )

STOCKTON BOROUGH COUNCIL  
PLANNING  
12 APR 2017  
DATE RECEIVED

**Sean McLean Design**  
 22 Portrack Grange Road, Stockton-on-Tees, TS18 2PH  
 Tel : 07711127641 E-mail smdesign@tiscali.co.uk

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PROPOSED DEVELOPMENTS AT  
 AISLABY ROAD, EAGLESCLIFFE  
 STOCKTON-ON-TEES

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LOCATION  
 PLAN

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Drg. No. 1677 / 01      Date NOV 16



PROPOSED  
 12 APR 2017  
 DATE FITTED

**Sean McLean Design**  
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**PROPOSED DEVELOPMENTS AT**  
 ASHLABY ROAD, EAGLESCLIFFE  
 STOCKTON-ON-TEES  
 EXISTING SITE PLAN  
 Dwg. No. 1677 / 02 Date NOV 16



Proposed Site Plan  
(scale 1:200@A1)

FIG. A GENERAL RESPONSE TO PART I/A COMMENTS 15/09/17

**Sean McLean Design**  
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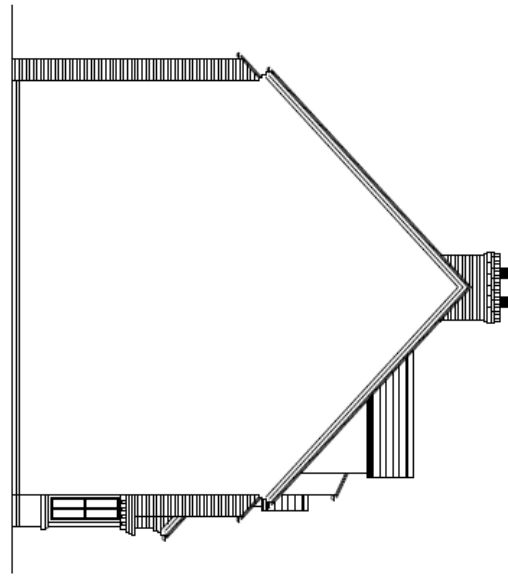
PROPOSED DEVELOPMENTS AT  
 AISLABY ROAD, EAGLESCULFFE  
 STOCKTON-ON-TEES

PROPOSED SITE PLAN

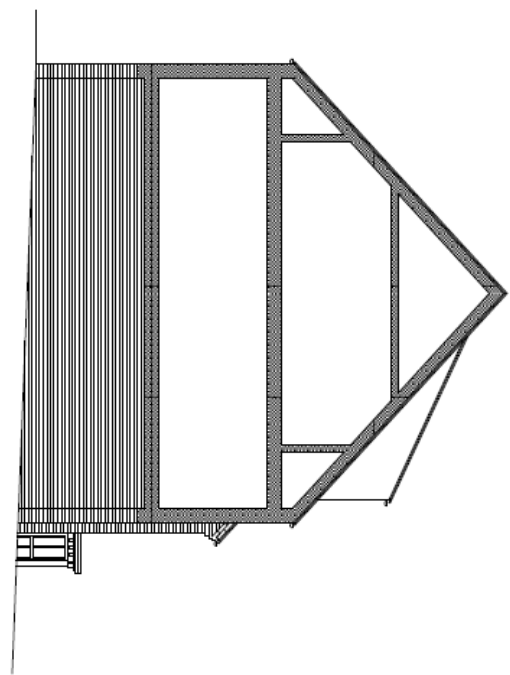
Dwg No. 16/77/03 Date NOV 16



Proposed South Elevation  
( scale 1:100@A3 )



Proposed West Elevation  
( scale 1:100@A3 )



Proposed West Elevation - Access Void  
( scale 1:100@A3 )

REV B GENERAL REVISIONS TO SUIT I19A COMMENTS 21.08.17  
REV A MINOR MODIFICATIONS CONNECTIONS 18.04.17

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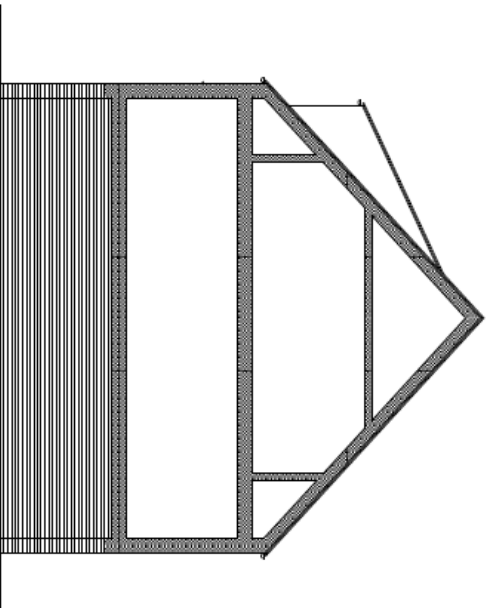
PROPOSED DEVELOPMENTS AT  
ASLBY ROAD, ENGLESCULPFE  
STOCKTON-ON-TEES

DWELLINGS 15-7 PROPOSED  
ELEVATIONS SHEET 1 OF 2

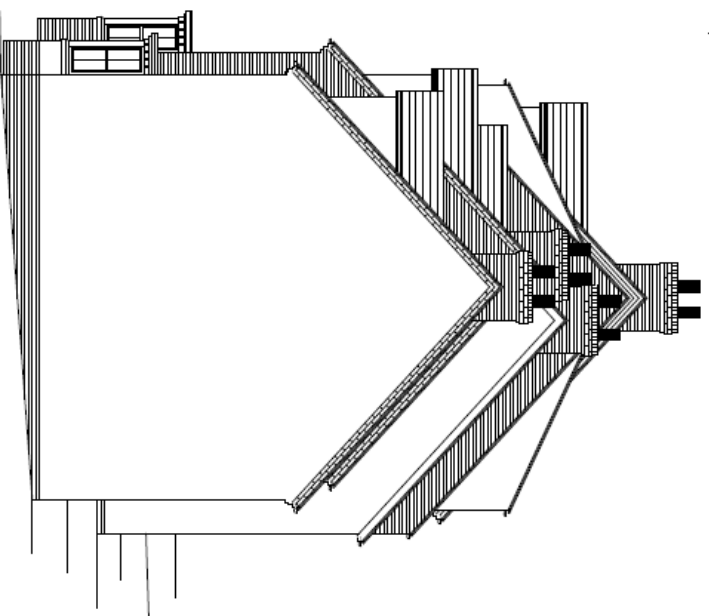
Dwg. No. 1677 / 08 B Date NOV 16



Proposed North Elevation  
( scale 1:100@A3 )



Proposed East Elevation - Access Void ( scale 1:100@A3 )



Proposed East Elevation  
( scale 1:100@A3 )

REV B GENERAL REVISIONS TO SUIT ILM COMMENTS 31.08.17  
REV A WINDOW MODIFICATIONS/INSPECTIONS 19.04.17

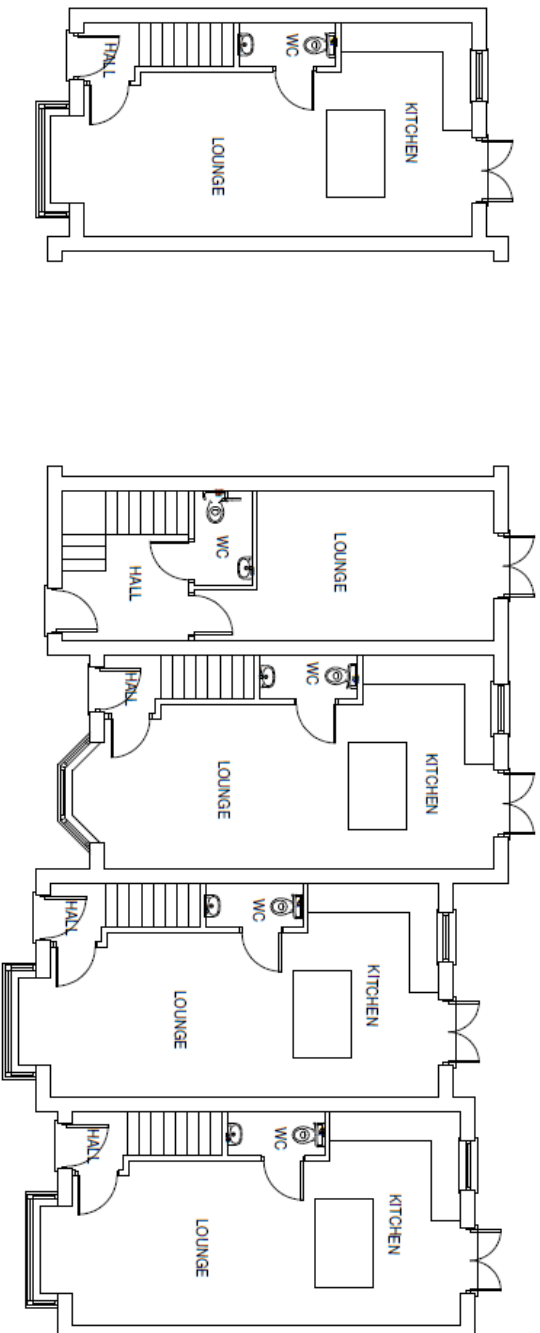
**Sean McLean Design**

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PROPOSED DEVELOPMENTS AT  
AISLABY ROAD, EAGLESCULFFE  
STOCKTON-ON-TEES

DWELLINGS 1-5 - PROPOSED  
ELEVATIONS SHEET 2 OF 2

Dwg No. 1677 / 09 B Date NOV 16



Proposed Ground Floor Plan  
 ( scale 1:100@A3 )

RE/A GENERAL REVISIONS TO SITT/IA COMMENTS 31.08.17

**Sean McLean Design**  
 22 Parnock Garage Road, Skewen-on-Teak, 1519 2PH  
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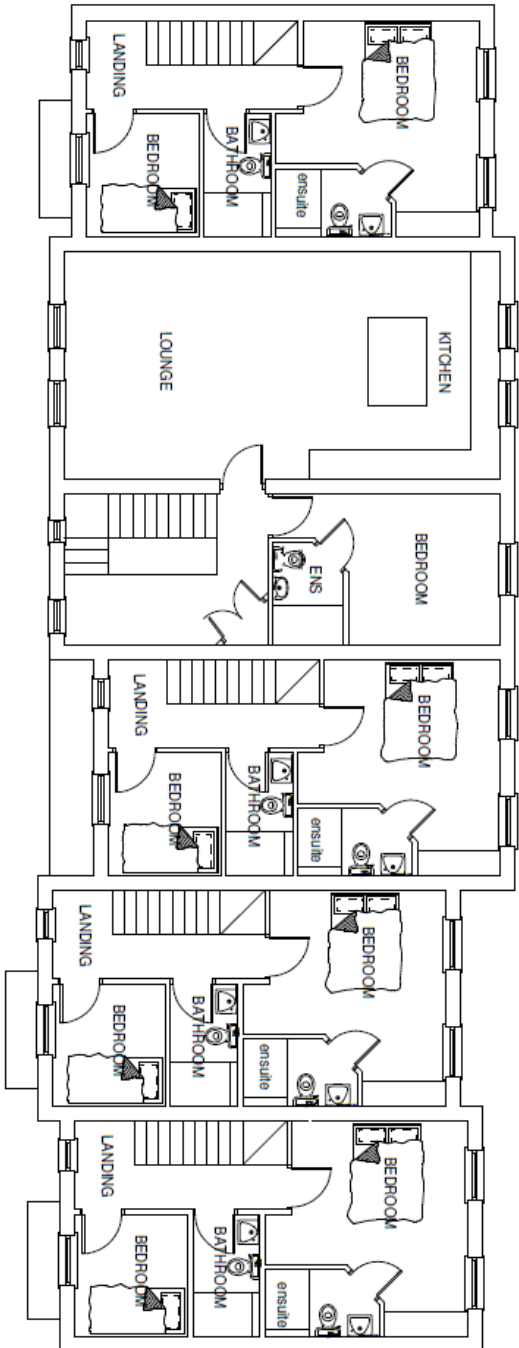
PROPOSED DEVELOPMENTS AT  
 ASHLAR ROAD, EAGLESCLIFFE  
 STOCKTON-ON-TESSES

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DWELLINGS 1-5 - PROPOSED  
 GROUND FLOOR PLAN

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Dwg. No. 1677 / 05 'A' Date NOV 16



Proposed First Floor Plan  
 ( scale 1:100@A3 )

REV A GENERAL REVISIONS TO SPLIT DM COMMENTS 31.08.17

**Sean McLean Design**

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PROPOSED DEVELOPMENTS AT

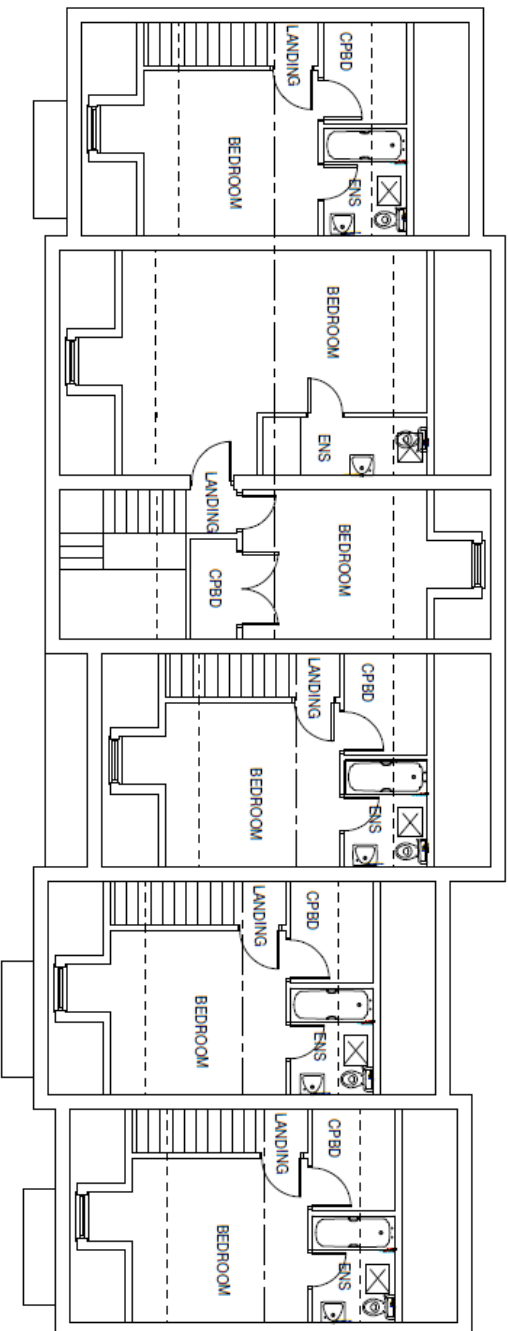
ASLAVY ROAD, EAGLESCLIFFE

STOCKTON-ON-TEES

DWELLINGS 1-5 - PROPOSED

FIRST FLOOR PLAN

Dwg. No. 1677 / 06 A Date NOV 16



Proposed Second Floor Plan  
 ( scale 1:100@A3 )

REV A GENERAL REVISIONS TO SUIII LIA COMMENTS 31.08.17

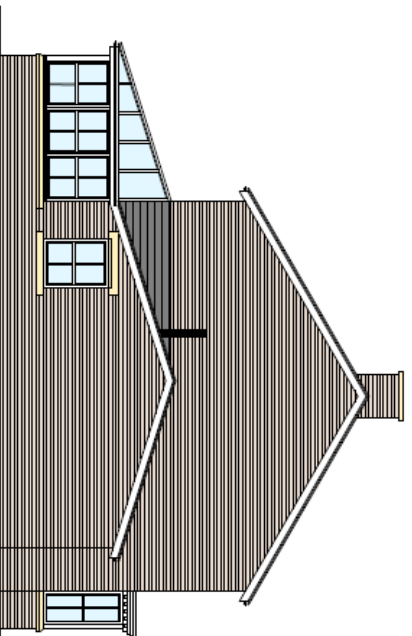
**Sean McLean Design**  
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PROPOSED DEVELOPMENTS AT  
 AISLABY ROAD, ENGLESCLIFFE  
 STOCKTON-ON-TESSES

DWELLINGS 1-5 - PROPOSED  
 SECOND FLOOR PLAN

Dwg. No. 1677 / 07 A Date NOV 16

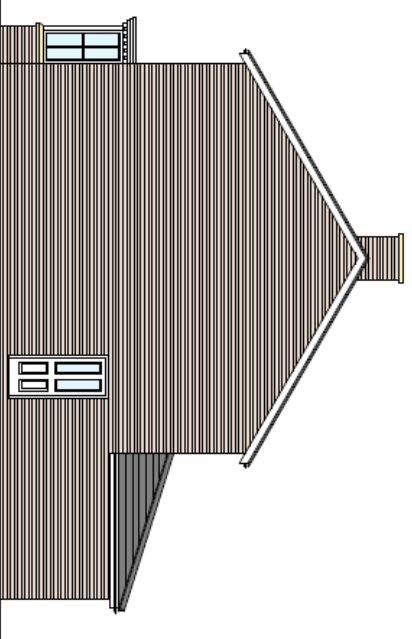




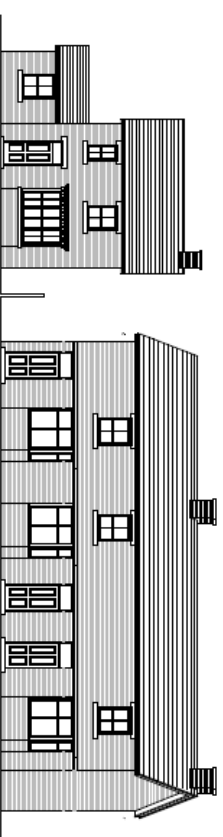
Proposed South Elevation  
( scale 1:100@A3 )



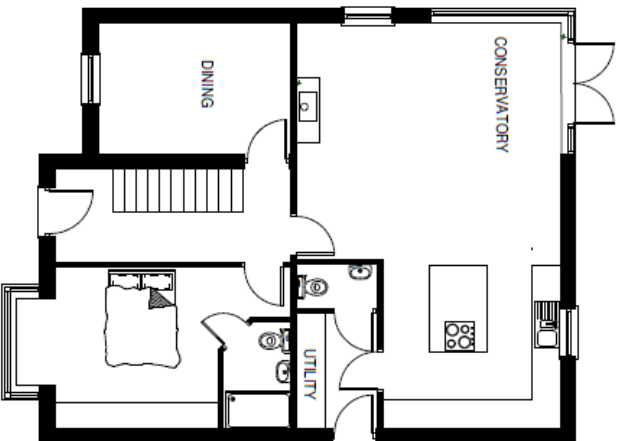
Proposed East Elevation  
( scale 1:100@A3 )



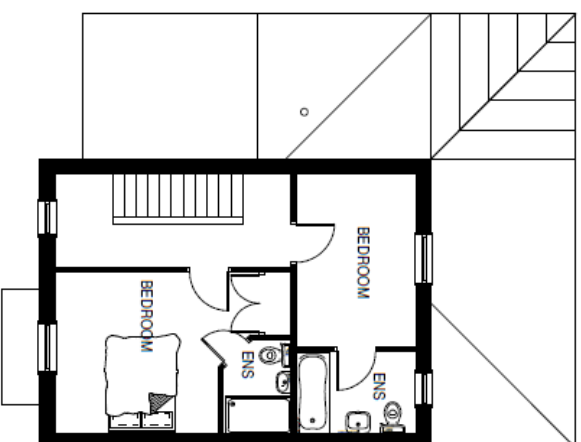
Proposed North Elevation  
( scale 1:100@A3 )



Proposed West Elevation  
( scale 1:100@A3 )



Proposed Ground Floor Plan  
( scale 1:100@A3 )



Proposed First Floor Plan  
( scale 1:100@A3 )

Proposed Dwelling No.6  
Proposed Street Scene  
A167  
Nook Road  
( scale 1:200@A3 )

REV B GENERAL REVISIONS TO SUIT LPA COMMENTS 31.08.17

REV A UTILITY ROOM DOOR ADDED 18.04.17

**Sean Mclean Design**

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PROPOSED DEVELOPMENTS AT  
A167/AB7Y ROAD, ENGLESCULFIE  
STOCKTON-ON-TEES

DWELLINGS 6 - PROPOSED  
FLOOR PLANS & ELEVATIONS

Dwg. No. 16777\_04 B Date NOV 16

**General areas around parking spaces, towards main site boundaries, boundary to house 6:**  
The open spaces adjacent to parking bays and towards the site boundaries will largely be left un-landscaped apart from being grassed (hard wearing general purpose sward). Although these areas are envisaged, if any trees are to be positioned in this area then they must be carefully located to avoid limiting sight lines. The boundary between these areas and house 6 garden area is to be a close boarded fence with optional perimeter shrub or hedge plantings on one or both sides. Perimeter shrub plantings are to be taken from the generic listing with this proposal. Options for decorative hedging as screening are as follows:

- Taxus baccata (Yew - evergreen)
- Prunus lauro-cerasus (Laurel - evergreen)
- Prunus lauro-cerasus (Laurel - evergreen)
- Carpinus betulus (Hornbeam - semi evergreen/brown)

These are as supplied in schedule at appropriate heights for screening which will both maintain privacy for the occupants of the proposed dwellings and shield public views of the dwelling as appropriate. The screening wall to the west is to have a section of shrub plantings at the top that will cascade over the wall and disguise it by forming a 'green wall' effect.

The western boundary of the site includes some trees and an existing, quite dense, hedge. Should this require enhancement (not expected), then plants should match the species, type and habit of existing, including small native trees for effect. Some existing wooden post and rail fence may be retained or replaced if necessary.

Visual impression of completed site after building and landscaping complete



Visual impression of development from north



**Terrace of houses (1 to 5) rear garden areas:**

Again of varying size, the gardens of houses 2, 3 and 4 are expected to be predominantly level. No detailed visualisation has been undertaken as they are private garden areas, not visible from site. Gardens to houses 1 and 5, although mainly level, could incorporate some slope to minimise the visual effects of retaining walls, all slopes to be gentle and even without ponding hollows. Again the individuality of the owners and their needs will reflect final garden design criteria but it is expected that garden style will be in keeping with the property and surrounding neighbourhood. The mix of styles will include:

- Lawns of good quality turf (Palmer Medallion or equivalent)
- Fewer seating areas in materials that are in keeping with the traditional feel of the properties
- Low hedges and/or perimeter shrub plantings from generic listing attached that are appropriate to the style of the garden areas
- Climbing plants to hide walls and fencing where necessary
- Gravel aggregate over weed suppressant membrane with appropriate focal points.

A mixture of the above  
Walls, where necessary, and 1.8m high close boarded fences (with optional lagging rail and gravel board) are expected to bound the individual gardens. Gravel access to houses 2, 3 and 4 from rear is indicated. There is an access way for house 6 between houses 4 and 5.

Visual impression of completed site after building and landscaping complete



Visual impression of development, viewed across Ashley Road (front gardens)

**Terrace of houses (1 to 5) front garden areas:**

Plotting on to Ashley Road by varying distances houses 1 to 5 have small, generally level, garden that may be regarded as relatively formal. The visual on landscape proposals creating a raised front garden areas for effect only. Obviously, the individuality of the owners and their needs will reflect final garden design criteria but it is expected that garden style will be in keeping with the property and surrounding neighbourhood. The mix of styles illustrated includes:

- Lawns of good quality turf
- Low hedges and/or perimeter shrub plantings from generic listing attached that are appropriate to the sunny aspect of the garden areas
- Gravel aggregate over weed suppressant membrane with appropriate focal points that may be appropriate to style

A mixture of the above  
It is expected that paving materials, again in keeping with the traditional feel of the properties, are in a mixture of materials but that natural stone, which is driven effect, should predominate. There is an access way for house 6 between houses 4 and 5. Optional wrought iron effect stings on low walls will be a traditional look to the dwellings where appropriate.



**Garden to house 6 including boundary treatments/screening:**  
The areas adjacent to the new dwelling will include paved areas in association (or as otherwise agreed) for seating/entertainment and leisure purposes. Paths are a minimum of 1.8m wide to the rear of the house. Paths on paving to be installed drains and gravel areas. Any drain inspection covers) are to be disguised with recessed covers where appropriate. In all cases materials will be in keeping with the character of the development and be sourced locally where reasonably possible. A large, good quality lawn over the majority of the south and side garden areas grown from turf or seed is suggested. Turf to be Robson Medallion or equivalent. A typical grass seed mix for a formal lawn is indicated in Landscape Specification Document section 4.1.5. A brick edged mowing strip for easier grass cutting is optional but not essential.  
Soft landscaping in formal borders as shown will include a mix of shrubs, perennials, grasses and ground cover plants to provide year round interest with predominantly evergreen planting to winter the dwelling within its environment. Planted beds by the house may be within gravel/cobble aggregate over membrane to provide interest and ensure low maintenance. Planted areas are to be broader at boundaries to enhance screening but lower plantings are to be used adjacent to the house to ensure that views across the garden are available from within the house. A low maintenance planting proposal is suggested throughout and all planting will be from the generic plant listings within these proposals.  
The boundary between the garden of dwelling 6 and the parking area is to be a close boarded fence with optional perimeter shrub or hedge plantings on one or both sides.  
To the northern and predominantly western boundary of the garden of dwelling 6 screening is expected at the boundary. Options for decorative hedging as screening are as follows:  
Taxus baccata (Yew - evergreen)  
Prunus lauro-cerasus (Laurel - evergreen)  
Carpinus betulus (Hornbeam - semi evergreen/brown)  
Thuja plicata 'Amurensis' (western red Cedar - evergreen conifer)  
These are as supplied in schedule at appropriate heights for screening which will both maintain privacy for the occupants of the proposed dwellings and shield public views of the dwelling as appropriate. Additional screening, as necessary, may be included within the planted bed to the east of dwelling 6 to screen the house from outside the site boundary. This may be in the form of pleached trees as the visual. There also may be a requirement to provide a sunny seating area adjacent to the house to the east; this may utilize trellis panels located within this planted border that will again provide screening but also provide privacy to the occupier. Some existing wooden post and rail fence may be retained or replaced if necessary.

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Agent: Mr Paul Case  
1017 House, 22 Portland Orange Rd,  
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Planning reference: 1718200/15  
Scale: 1:100 @ A1 Drawing MKD/171820/1 Rev. 1  
Date: September 2017